

TACOMA PERMITS

CITY OF TACOMA

Planning & Development Services Department
747 Market St, Room 345 | Tacoma, WA 98402

PUBLIC NOTICE

Date of Notification: 03/07/2017

Application Received: 02/15/2017

Application Complete: 02/28/2017

Applicant: Phillip C Hill
4109 NORTH STEVENS ST.
TACOMA, WA 98407

Location: 4601 North Ferdinand Street
9470001062

Application No.: LU17-0020

Proposal: A setback variance to allow an addition on the south side of the existing dwelling.

Comments Due: 03/21/2017

For further information regarding the proposal, **log onto the website at tacomapermits.org and select "Public Notices"**. The case file may be viewed in Planning and Development Services, 747 Market Street, Rm 345.

Documents to Evaluate the Proposal: City of Tacoma Comprehensive Plan, Tacoma Municipal Code

Studies Requested: None

Other Required Permits: Building Permit

Applicable Regulations of the Tacoma Municipal Code: TMC 13.06

A final decision on the proposal will be made following the comment period. A summary of the final decision will be sent to those parties who receive this notice. A complete copy of the final decision will be mailed to those parties who request a copy or to those who have commented on the project. Appeal provisions will be included with both the summary and the complete copy of the final decision.

Staff Contact: Charla Kinlow, Associate Planner, 747 Market St, Room 345, (253) 594-7971, ckinlow@cityoftacoma.org

Environmental Review: Per SEPA, WAC 197-11-800 and TMC Chapter 13.12, the Environmental Official has reviewed this project and determined the project is exempt from SEPA provisions.



To request this information in an alternative format, please contact Planning and Development Services by phone at (voice) 253-591-5030. TTY or STS users please dial 711 to connect to Washington Relay Services



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NOTICE OF LAND USE APPLICATION

Owner:

Andrew Krajewski

4601 North Ferdinand St

Tacoma, WA 98407

Variance Criteria Responses per City of Tacoma Tip Sheet L-645

1. Property hardships - The hardship on the property is that the East property line location is non-conforming for a rear yard setback. The residence east yard setback is about 16 feet. The west yard along North Ferdinand and the side yards are conforming for Front and Side yards. The Owner wishes to construct an addition in the south yard but due to the rear yard being nonconforming setback the addition is no allowed.
2. The minimum needed effort is to approve the East yard non-conforming setback so that the south yard is recognized as a side yard and the addition can be constructed per the land use code.
3. The project is a reasonable use of the property in that the addition will bring the residence into a more reasonable size. Neighbors will not be affected by the project as no views will be impacted and the location of the addition is such that visibility from the streets is limited.
4. The project is consistent with the Comprehensive plan in that the zoning designation will not change and with the addition the building coverage will only be approximately 20%. The project would improve the neighborhood in that there are many large homes nearby and the addition, though not very large will add more up-to-date amenities. The existing residence is 864 square feet. Adding another 240 square feet does not seem to be of any significant impact.
5. Of benefit to the public interest would be that once the addition is completed the property tax assessment would be higher adding slightly more to the tax base.
6. The intent of the variance request is not to prevent development cost increases. This is a single-family residence that will have an addition designed to reflect the surrounding neighborhood. The costs involved for design and construction will not be affected by approval of the variance request.

KRAJEWSKI ADDITION

August Hill

Architects

4109 N. Stevens St.
Tacoma, WA 98407
253.376.5397

augusthill@comcast.net

All material herein constitutes the original and unpublished work of the architect and may not be used, duplicated or disclosed without the written consent of the architect.

KRAJEWSKI ADDITION
4601 NORTH FERDINAND STREET, TACOMA, WA 98407

SHEET INDEX

ARCHITECTURAL	
TS	TITLE SHEET, SITE PLAN
A1.0	FLOOR PLANS / EXTERIOR ELEVATIONS

PROJECT TEAM

OWNER

ANDREW KRAJEWSKI
4601 NORTH FERDINAND STREET
TACOMA, WA 98407
716.359.8010

EMAIL: andrew_krajewski@generalplastics.com

ARCHITECT

AUGUST HILL ARCHITECTS
4109 NORTH STEVENS STREET
TACOMA, WA 98407
253.302.4651

CONTACT: PHILLIP HILL
EMAIL: phill@augusthillarchitects.com

CONTRACTOR

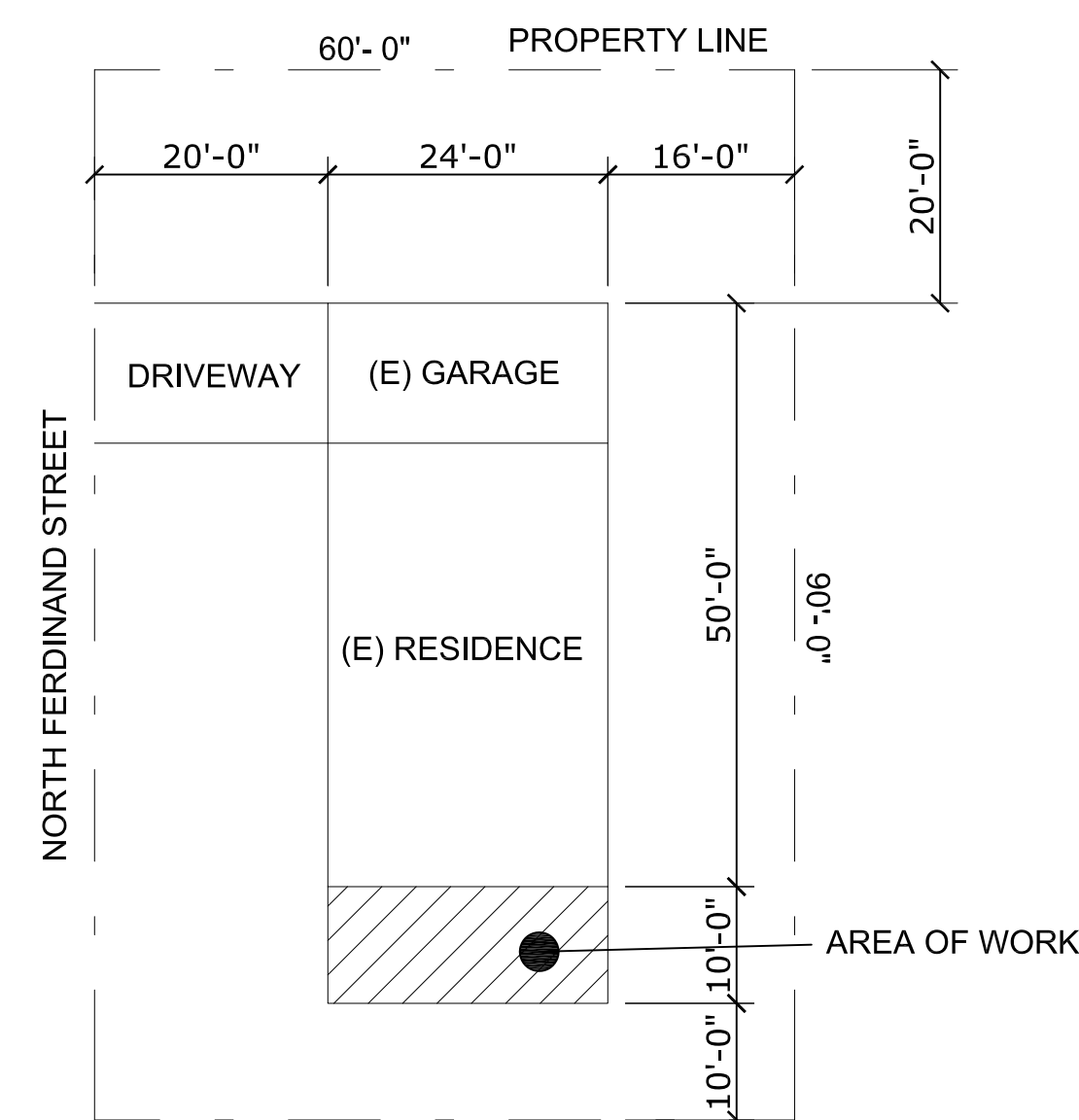
TO BE DETERMINED

PROJECT:

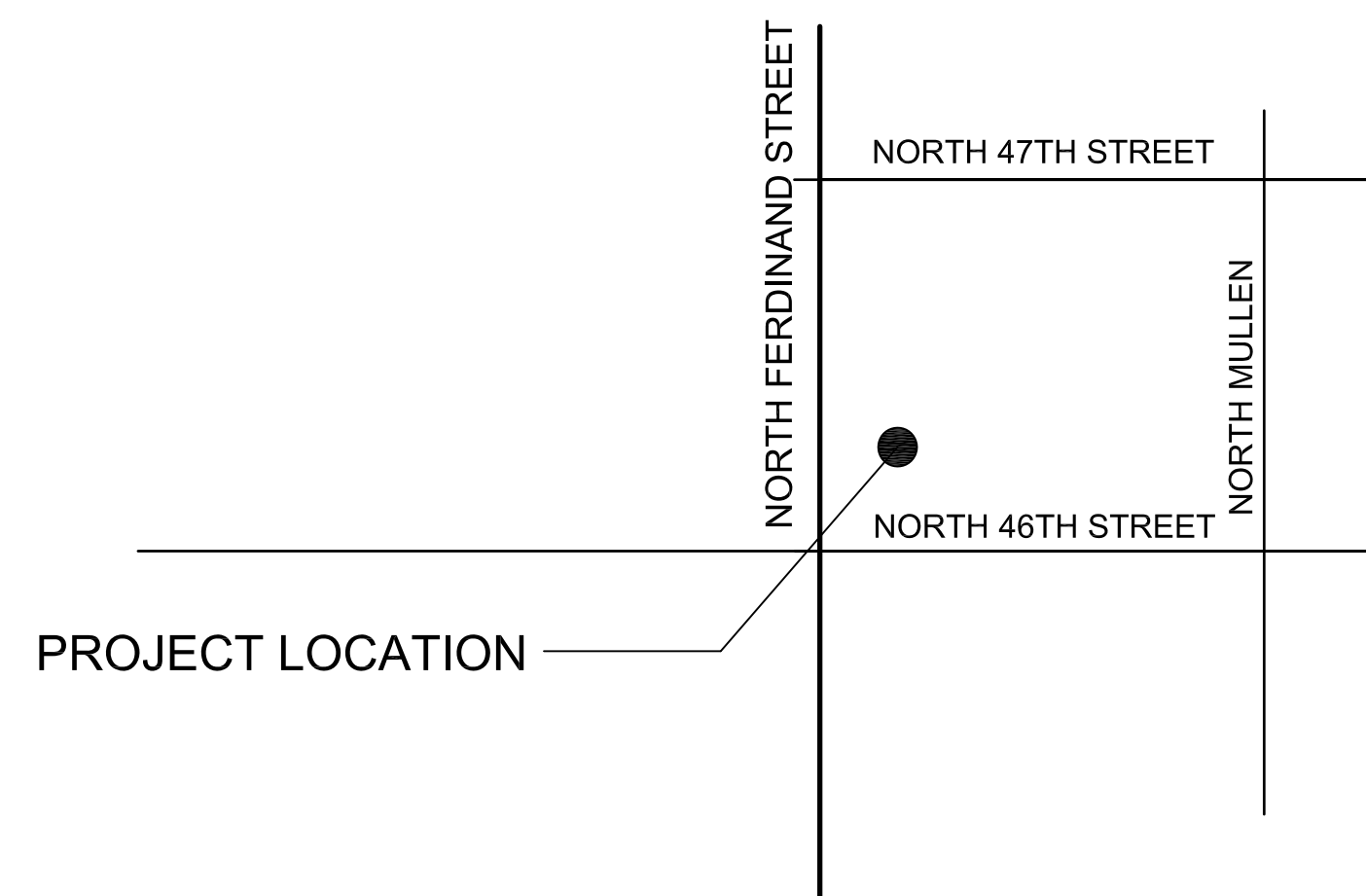
LOCATION: 4601 NORTH FERDINAND STREET
TACOMA, WA 98407

PARCEL MAP NO.: 9470001062

PROJECT DESCRIPTION:
240 SQUARE FOOT ADDITION IN SOUTH YARD. THE ADDITION WILL INCLUDE ENLARGING THE MASTER BEDROOM AND ADDING A CLOSET AND MASTER BATH.



1 SECOND FLOOR PLAN
SCALE: 1/16" = 1'-0"
NORTH



1 VICINITY MAP
SCALE: N.T.S.
NORTH

Principal _____
PM _____
Drawn By _____
Reviewed By _____
Job No. _____

Revision:

No.	Date	By

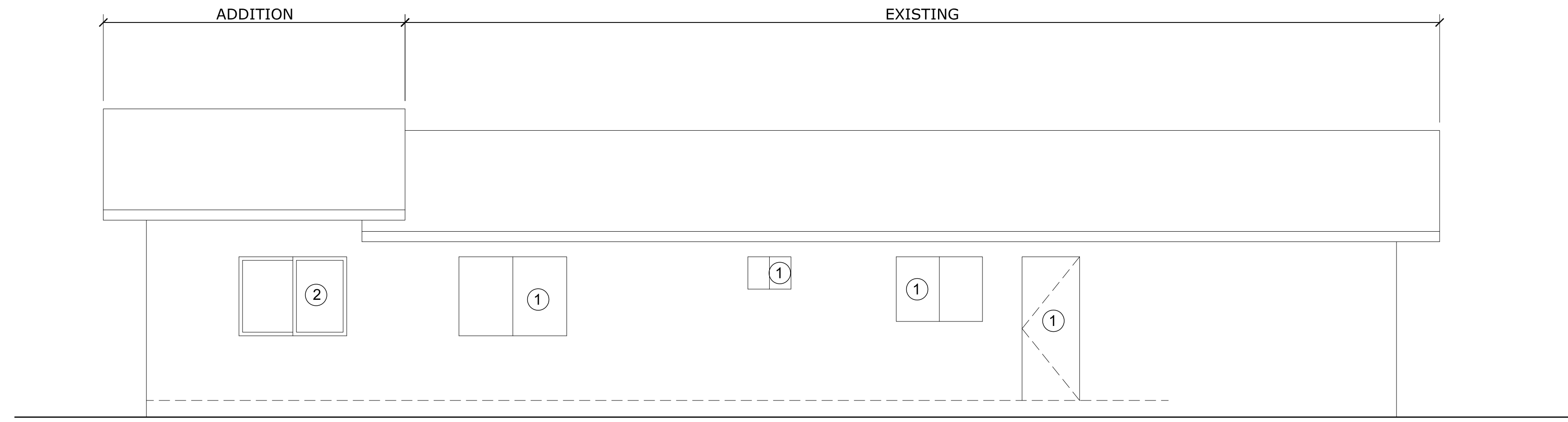
2/1/2017

TITLE SHEET

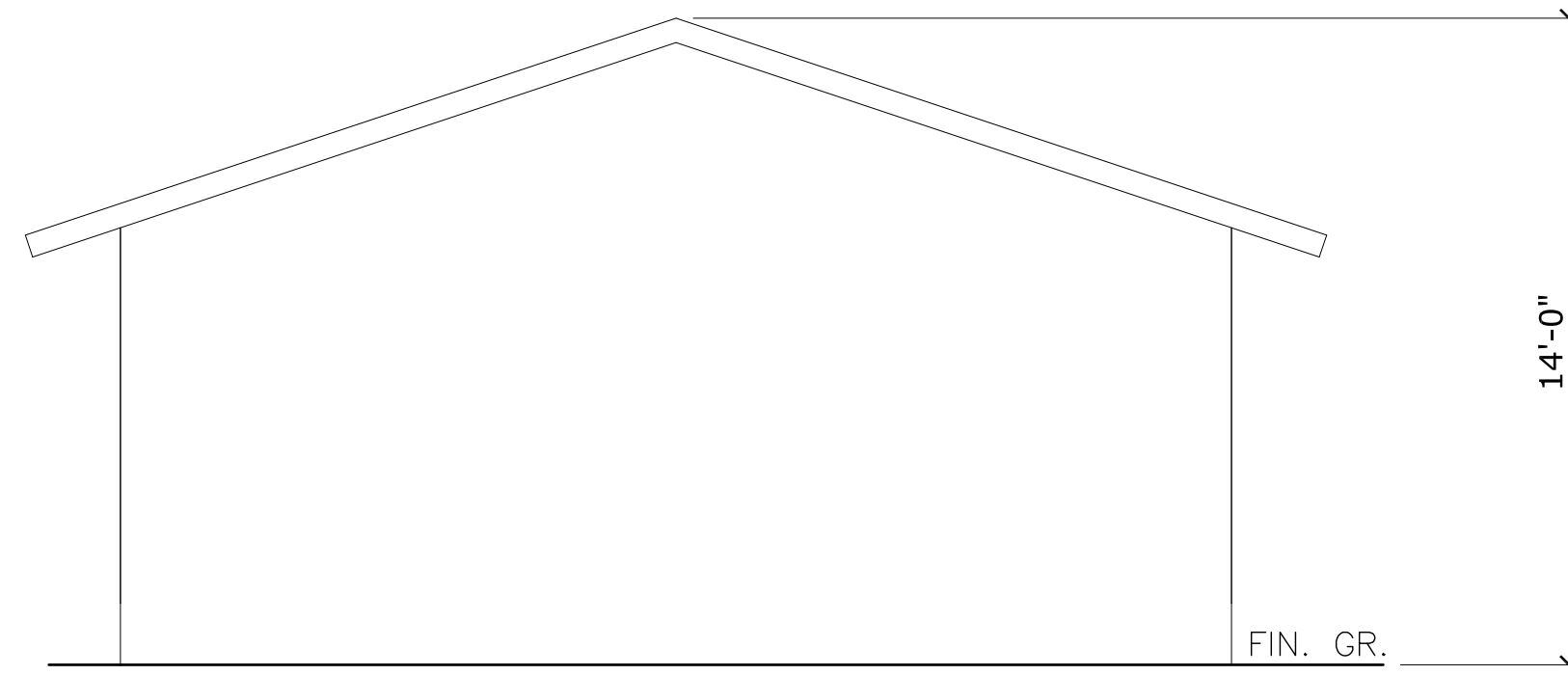
TS

KEY NOTES

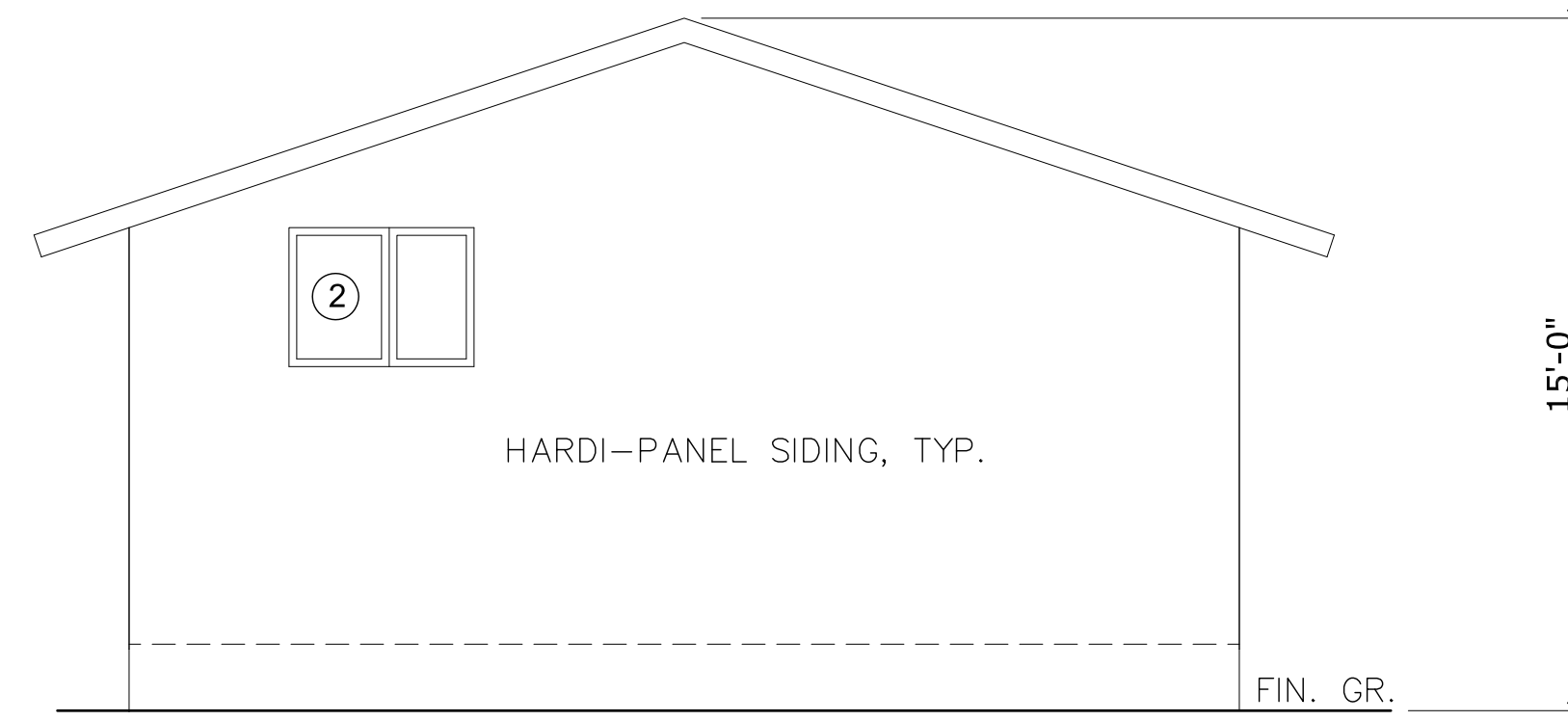
- ① EXISTING WINDOS AND DOORS
- ② NEW WINDOS



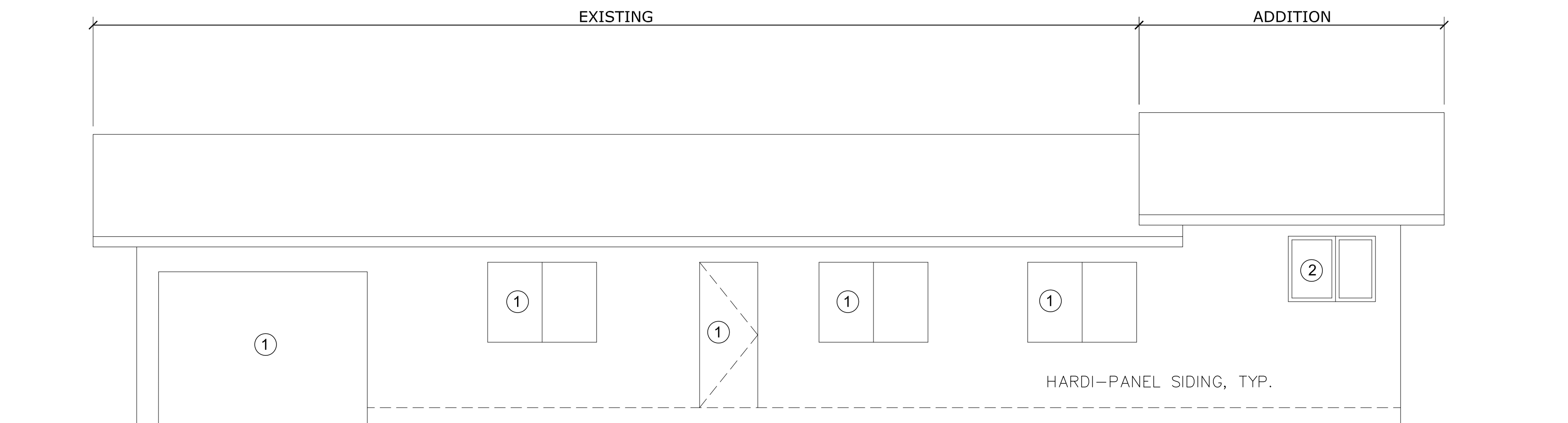
5 EAST ELEVATION
SCALE: 1/4" = 1'-0"



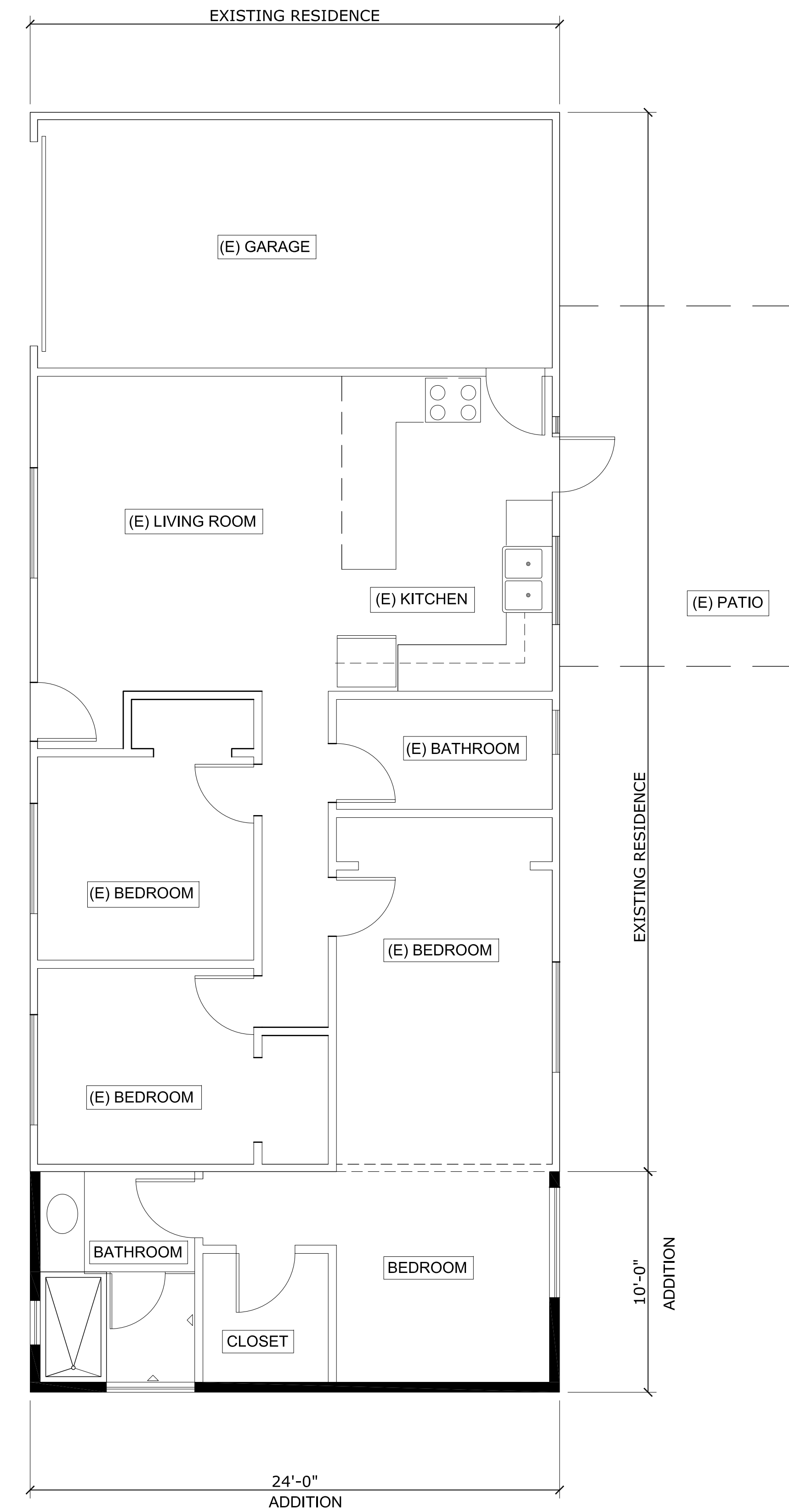
4 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



3 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"



1 FLOOR PLAN
SCALE: 1/4" = 1'-0"