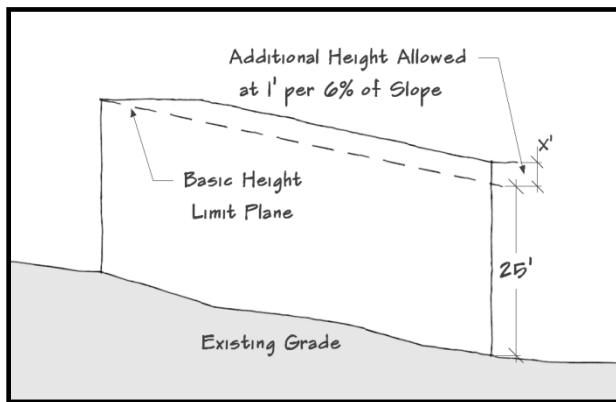


View-Sensitive Districts and Height Standards

The View-Sensitive Overlay District serves to balance the interest of the property owner with surrounding property owners who wish to preserve their views. Buildings, structures, or additions cannot exceed a height of 25 feet within Zoning Districts with a View-Sensitive Overlay. Building height is determined by drawing a plane created above four base elevation points and the plane is located at the height limit allowed by the zoning district above the four base elevation points. The applicant provides grade elevations on a site plan and on elevation views.

ADDITIONAL HEIGHT ON SLOPING LOTS

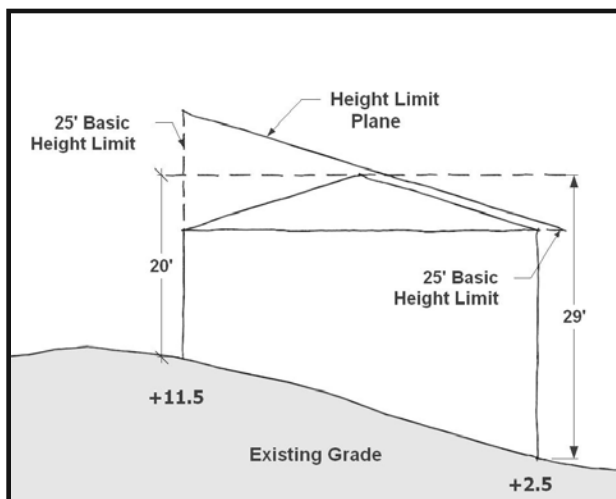
One foot of additional height is allowed on the lower corners of a building for every six percent of slope.



ELEVATIONS

Elevation drawings should include:

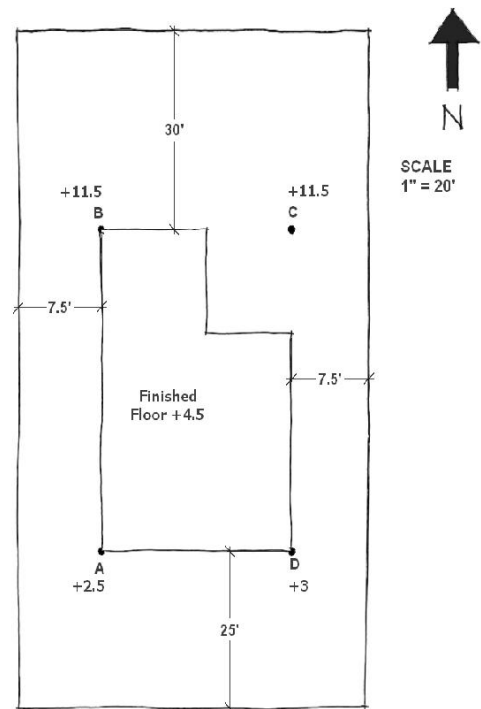
- Base Elevation Points
- Existing Grade
- Actual Height of Existing/ Proposed Structure



SITE PLAN

Necessary elevation points on the site plan:

- A fixed benchmark needs to be established on or near the site unless elevation above sea level is used
- Four base elevation points (A-D)
 - Located at the four corners of the foundation, or if the foundation does not form a rectangle, at the smallest rectangle that surrounds the foundation. Decks and/or porches that extend beyond the foundation are not included in the height calculation for additional slope. No portion of the structure, however, may extend above the height plane that is established by the base elevation points.
- Finished floor elevation of the structure



Note: This Tip Sheet does not substitute for codes and regulations.

The applicant is responsible for compliance with all codes and regulations, whether or not described in this document.

More information: City of Tacoma, Planning and Development Services | www.tacomapermits.org (253) 591-5030

To request this information in an alternative format or a reasonable accommodation, please call 253-591-5030 (voice).

TTY or STS users please dial 711 to connect to Washington Relay Services.

View-Sensitive Districts and Height Standards

HEIGHT LIMITS

District	Main Dwelling or Structure	Accessory Buildings
VSD (View Sensitive)	25 feet	15 feet

SURVEY REQUIREMENTS

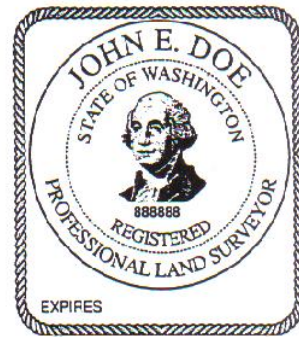
As part of the plan review process, the City typically requires an initial survey of the property. The survey is required to show the property corner elevations prior to any grading or development activity, the four foundation base points, and the proposed finished floor elevation.

The City may require a second ridgeline survey at the time of the frame inspection.

If building plans are determined to be over the maximum allowable height, revised building plans are required and must be resubmitted. If the configuration of the building changes, revised plans are required and must be resubmitted.

*[Tip sheet P-554](#) includes information on submittal requirements for Residential Height Variances.

- The height survey is at the cost of the applicant.
- Surveys must be signed and stamped by a surveyor licensed in the state of Washington.
- The Building Official may waive some or all survey requirements if a detailed review of the site conditions indicates setback and height requirements are in compliance. The applicant may be required to submit plans, photos, and other documentation for this review.



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